

SOUTH & WEST PLANS PANEL

THURSDAY SEPTEMBER 28TH 2023



APPLICATION: 23/03811/FU

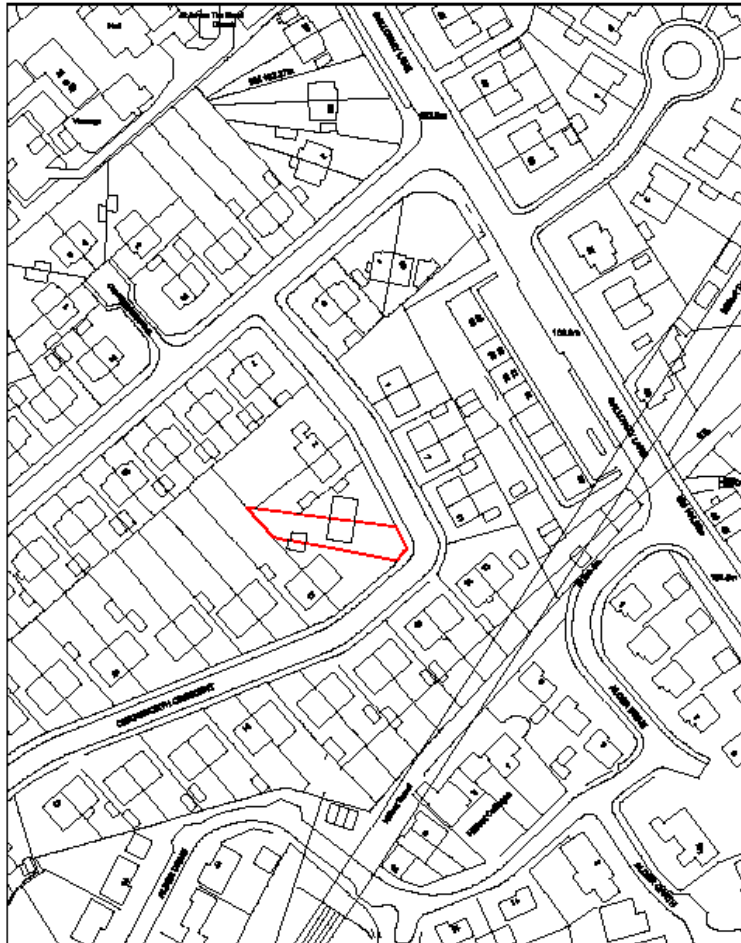
PROPOSAL:

Change of use from Dwelling (C3) to
Childrens Care Home (C2)

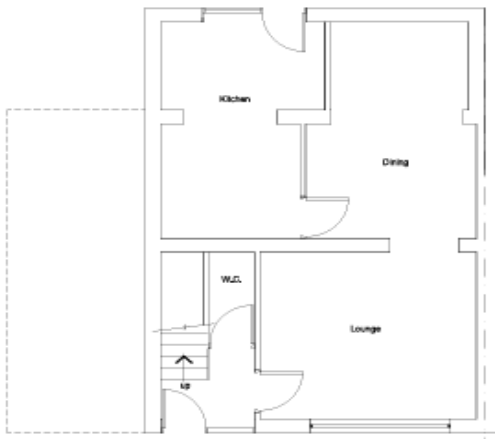
ADDRESS:

8 Chatsworth Crescent
Pudsey
LS28 8LD

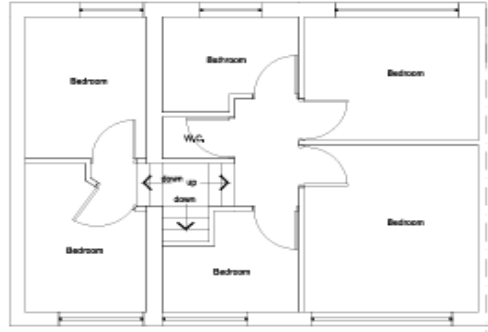




		client
		project 08 Chalworth Crescent Leeds LS26 8LS
		title Site Location Plan
rev amendments	scale: 1:1250 @ A1	drawing no LS26/P01



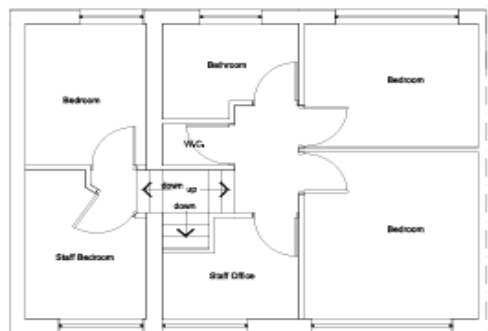
Existing Ground Floor Plan



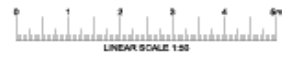
Existing First Floor Plan



Proposed Ground Floor Plan



Proposed First Floor Plan



DATE: 16/05/23 DRAWN BY: M N AB

CLIENT:

PROJECT:

08 Chatsworth Crescent
Leeds
LS28 6LB

TITLE:

Existing & Proposed Plans

STAGE:

Planning

DATE: 16/05/23 SCALE: 1:50@ A1

DRAWN BY: M N AB REVIEWED BY:

DRAWING NUMBER: LS/34/P02



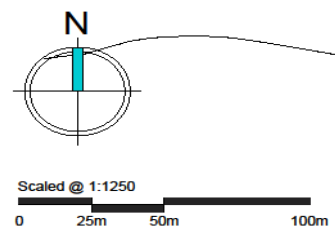
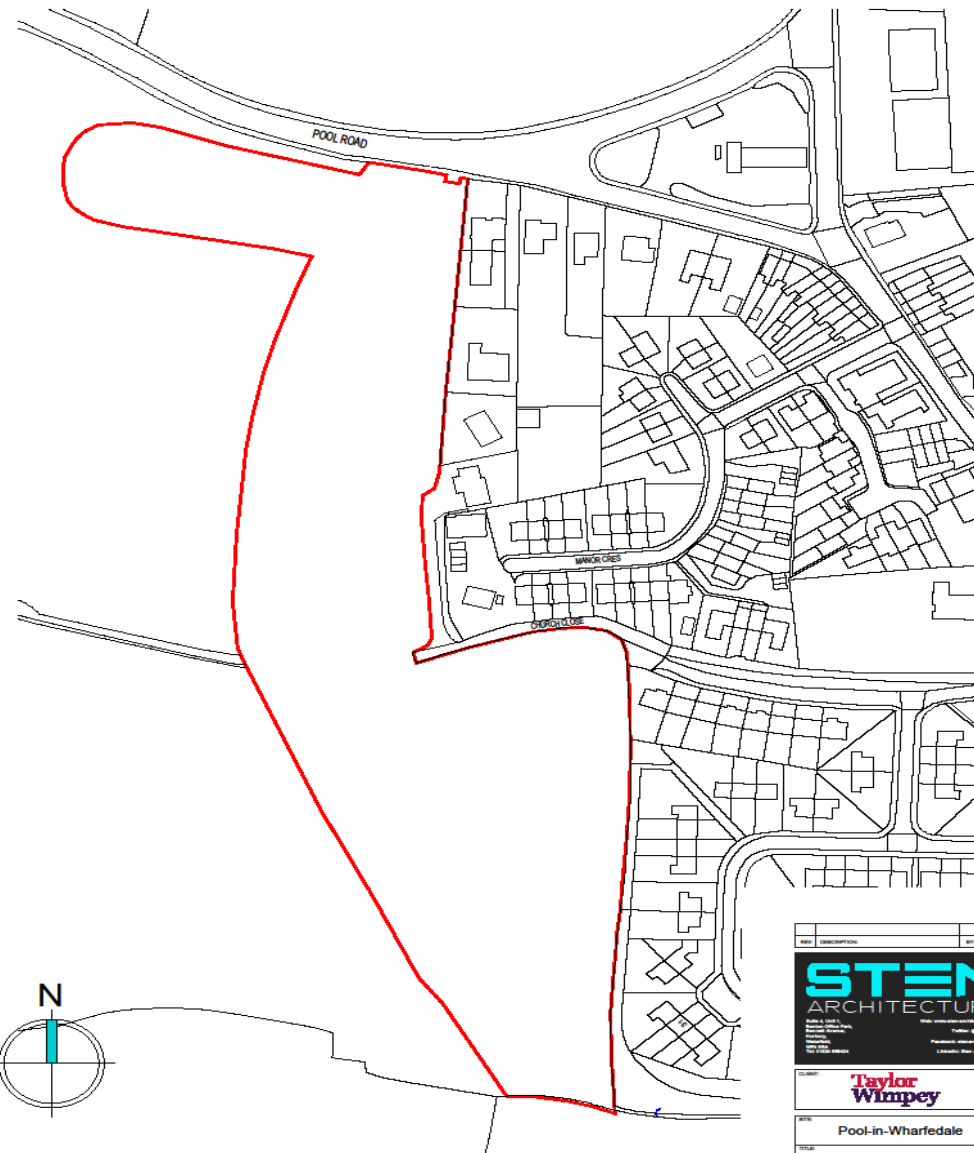


APPLICATION: 21/04988/RM

PROPOSAL: Reserved Matters application for 57 dwellings including provision of 5,771 sqm Public Open Space and associated infrastructure, relating to scale, layout appearance and landscaping pursuant to Outline Application 17/02068/OT.

**ADDRESS: Land South Of Pool Road
Pool In Wharfedale
Otley
LS21**





STEN ARCHITECTURE			
Taylor Wimpey			
Pool-in-Wharfedale			
Location Plan			
SCALE OF PLAN	DATE	PROJECT	CLIENT
1:1250	28.04.21	NU	EL
2120	2120.02		





Character area 4- 20th century housing

With a strong variation in character and appearance, the 20th century housing areas share a distinct suburban appearance that unites them into a single character area.

Key characteristics:

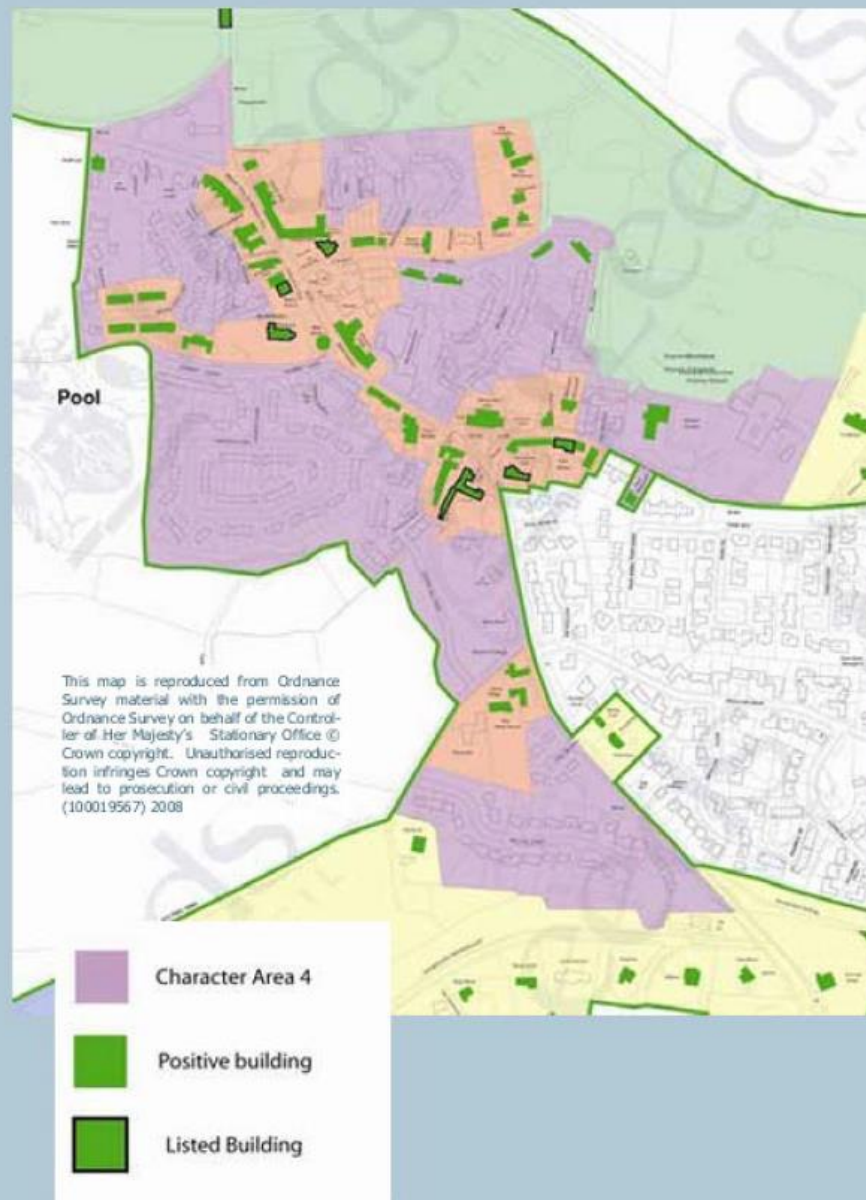
- The most positive feature of this development lies in its discreteness. Many structures use a palette of neutral materials and have little impact on the historic environment.
- The houses are a mixture of terrace, detached and semi-detached properties.
- The two-storey scale and one-bayed layout of the properties are consistent with the historic positive character of the area.
- Negative characteristics are the high density cul-de-sac style developments.
- Traditional timber windows and doors add value to the character area. As to be expected there is a high level of UPVC in the area which has a detrimental impact on the character and appearance of the area.

Key ways to retain character:

- Use of coursed sandstone and slate roofs as predominant walling material for any new developments.
- Retention of historic boundary treatments including walls and mature hedgerows. Any new boundary treatments should also employ sandstone and/or hedgerows and be consistent with the positive boundary treatments already present.
- Retention of slate roofs and chimneys.
- Retention of formal layout of buildings, though all properties built directly onto the street should be orientated to face them.
- Less emphasis on cul-de-sac development.
- Retention of mature trees where present.



The Memorial Hall is a positive building with this character area and has a strong impact on the appearance of the area.

















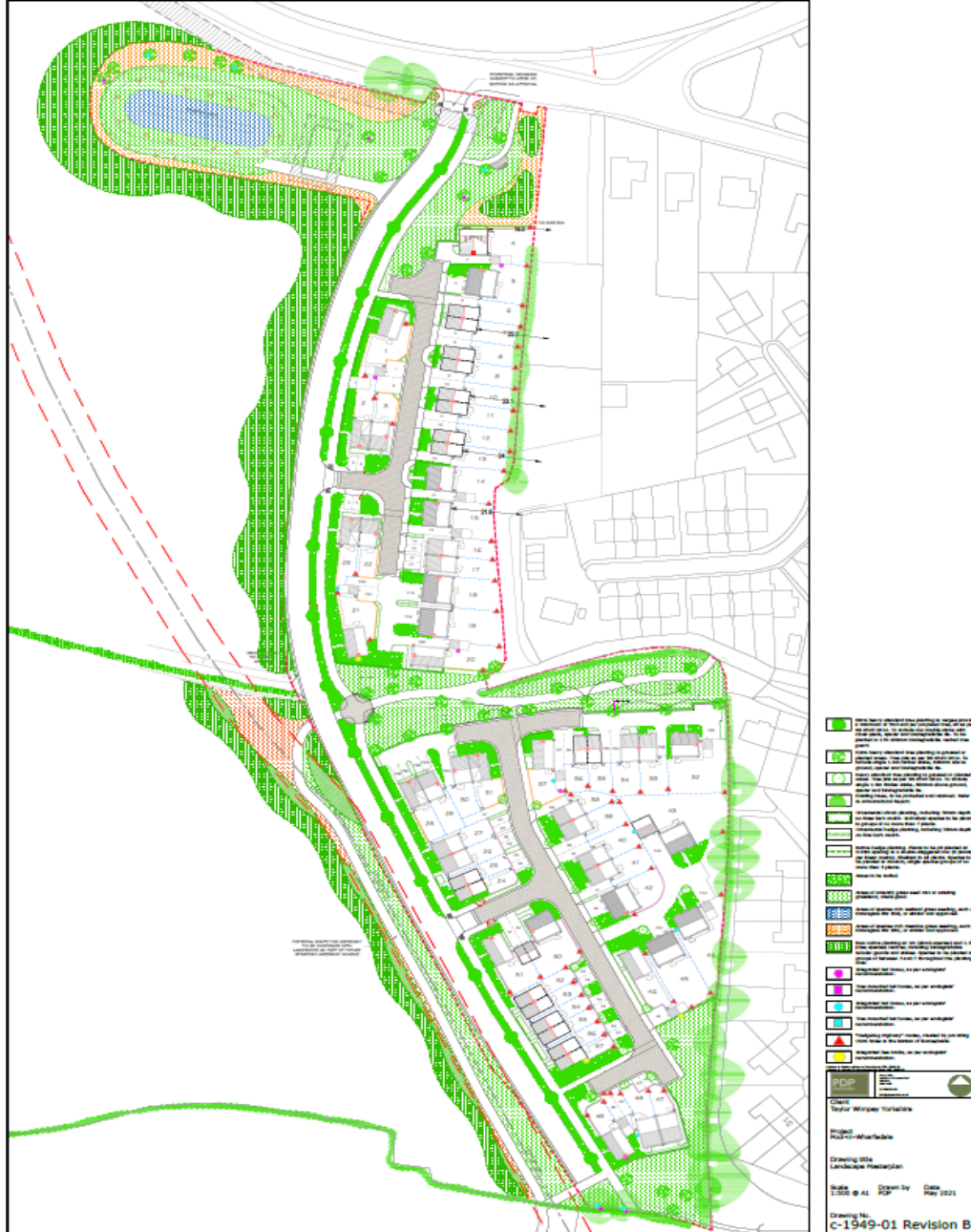














jrj

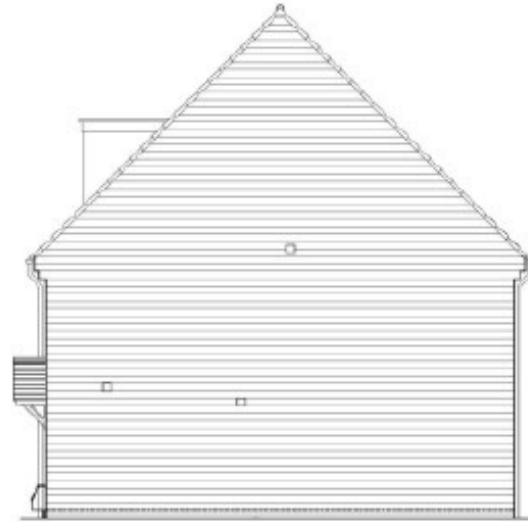
12, BLUEBERRY LANE, LEEDS, LS2 9JF
 TEL: 0113 275 1234
 WWW.JRJ.CO.UK

PROJECT: POOL IN WARDLE
 DRAWING: MATERIALS PLAN
 DATE: 15/03/2023





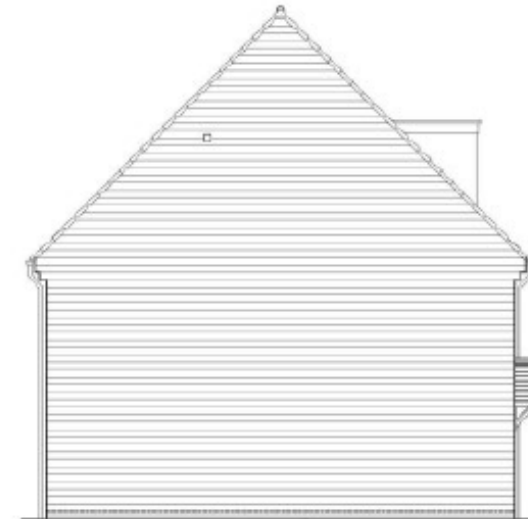
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION



House Type NA44 (Manford) Special

Proposed Floor Plans and Elevations

4 Bedroom Dwelling



FRONT ELEVATION

SIDE ELEVATION

REAR ELEVATION

SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN

House Type NT41 (Trusdale)

Proposed Floor Plans and Elevations

4 Bedroom Dwelling



FRONT ELEVATION

SIDE/REAR ELEVATION

REAR ELEVATION

SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN

House Type NA44 (Manford)
Proposed Floor Plans and Elevations

4 Bedroom Dwelling



House Type EMA21
Proposed Floor Plans and Elevations

2 Bedroom Dwelling



House Type NA32 (Byford)-NT31(Kingdale)

Proposed Floor Plans and Elevations

3 Bedroom Dwellings



House Type ND42 (Kingham)

Proposed Floor Plans and Elevations

3 Bedroom Dwelling



House Type NT41 (Trusdale)
Proposed Floor Plans and Elevations

4 Bedroom Dwelling



House Type EMA21
Proposed Floor Plans and Elevations

2 Bedroom Dwelling



House Type NA32 (Byford)
Proposed Floor Plans and Elevations.

3 Bedroom Dwelling



Plots 26, 27, 38, 39, 40 and 41

House Type NA49 (Janford)
Proposed Floor Plans and Elevations

4 Bedroom Dwelling





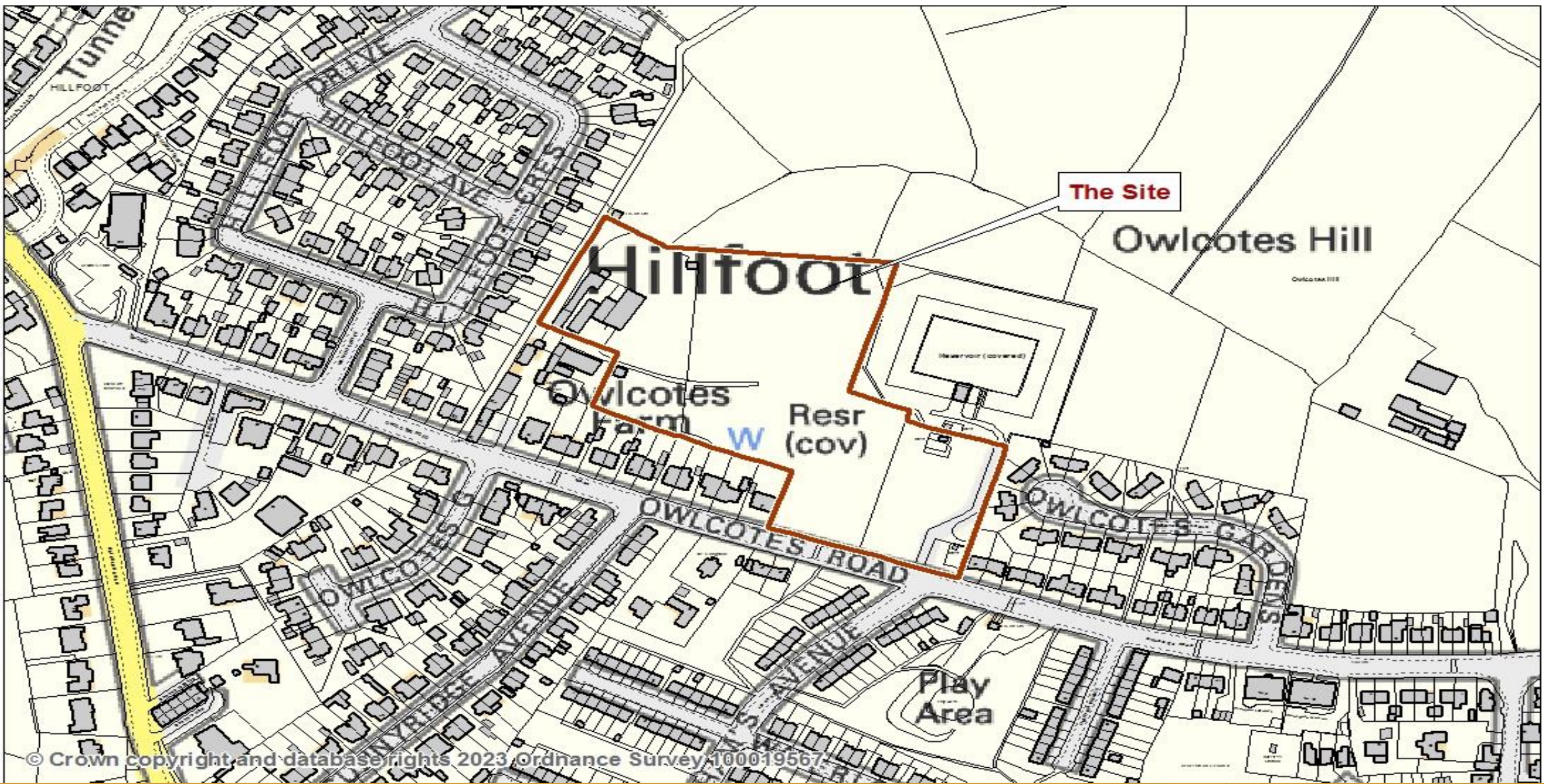
APPLICATION: 22/06335/RM

**PROPOSAL: Reserved matters application
for 50 dwellings and 4 apartments to
outline permission 21/10203/OT**

ADDRESS:

**Land Rear At Owlcotes Road
Pudsey
Leeds**





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Figure 6: View from boundary fence of Parcel B towards western boundary.



Figure 6: Rear view of farm buildings with western boundary.



Figure 7: View of telecommunications mast and reservoir north of Parcel B.



Figure 8: View along track from farm buildings towards eastern boundary.



Schedule of Accommodation

Category	Description	Area	Count
Houses	1B2P House	@58m ²	-01no.
	2B3P 2 st. house	@70m ²	-25no.
	2B3P Bungalow (CAT 3)	@80m ²	-02no.
	3B4P 2 st. house (CAT 2)	@86m ²	-12no.
	4B6P 2.5 st. house	@120m ²	-10no.
Walk-Up Apartments	1B2P GF	@52m ²	-02no.
	1B2P FF	@62.3m ²	-02no.
Total			-54no.

Site area	- 02.06 ha	- 5.09 acres
Developable area	- 01.67 ha	- 4.12 acres
Total Public Open Space	- 0.223 ha	- 0.55 acres
Density	- 13.11 units/acre	- 32.34 units/ha

Notes
 Layout dependant upon confirmation of legal site boundary, Statutory Services Information & subject to Highway approval

Drainage strategy subject to detailed design, Phase I & II Geo-technical Survey and Drainage Assessment. Layout assumes gravity led drainage system with no pumping station. Boundary Treatments & Finish floor levels subject to further detailed design.

Layout based on Topographical survey by CT Surveys dwg no 4166JA/1 and by Vision Geomatics drw no KLD_10_SP.
 Tree position based tree survey by Brooks report ref: AR-4098-01.01. Landscape Design subject to Yorkshire Water approval.

Key:

- Line of Highwall (Proven)
- Line of Highwall (Interpreted)
- 1.1m high metal railing edge protection
- 1.5m High Timber Fence
- 1.8m High Timber Fence
- 1.8m High Brick Piers w/ 0.6m High Brick Dwarf Wall and Timber Fence
- 0.45m High Timber Knee-rail
- Existing Dry Stone Wall
- - - Proposed Dry Stone Wall
- Indicative line of retainment, heights and design to be confirmed by Engineer.
- Proposed New Hedge (see landscape design)
- Proposed FFL's to be confirmed by Engineer.
- 1 in 3 batter to Engineers design.
- Proposed Tree Location
- 1. Adoptable pumping station to engineers design
- Existing water mains to be retained with 4m easement to each side.



Drawing Status	
<input type="checkbox"/> preliminary	<input checked="" type="checkbox"/> planning
<input type="checkbox"/> information	<input type="checkbox"/> tender
<input type="checkbox"/> contract	<input type="checkbox"/> construction
<input type="checkbox"/> approval	<input type="checkbox"/> records built
Date:	1:500 @ a1 May, 2023
Drawn/Checked:	MWSH
Dwg No:	1420.42.108

**Site Layout
 Owlcotes Road
 Pudsey**



Studio 11, The Spinnaker, 2 King Charles Street, Leeds LS1 6LS. TEL: 0113 239 3414. E-Mail: architects@acanthuswsm.com





Front Elevation Facing South
1 : 100



Rear Elevation Facing North
1 : 100



Side Elevation
1 : 100



Side Elevation
1 : 100



Roof Plan
1 : 100



Ground Floor Plan
1 : 100

Material Schedule

- 1. PVC Coating/Treated Bricks, Half-House of Stone
- 2. 220 x 110mm approved all-weather rubber raised kerb
- 3. Anthracite Grey (RAL 7016) UPVC Window Frames
- 4. RAS 26 External Concrete Door Casing To Be Cast In-Place. Limit finished surface to acceptable finish.
- 5. Grey Trowel Edge Surfacing Concrete Road Tiles
- 6. Black UPVC Down Pipes (external) Profile and Brackets to Match Casing
- 7. Black UPVC Fascias
- 8. Poling Green Detail (Black T&G UPVC Gutter)
- 9. Front garden paving Anthracite Grey (RAL 7016)
- 10. Frontal road paving. Colour to match roof tiles.
- 11. Clay paving plus engined concrete with suitable drainage
- 12. Open Water Bin
- 13. Open Water Bin
- 14. Opposite Entrance Storage
- 15. Leeds like paving 1200x600mm. 16. French Drains 17. 400mm deep concrete path

10. Acanthus WSM Architects Ltd

The general contractor is responsible for the verification of dimensions on site and the status of information contained in a copy of this drawing shall be taken to that contained by the paper copy.

Revisions

Rev	Description	Date	Issued by
P1	Revised drawing set up for 2 tracked 1000mm x 1000mm printing and added to paper master	05-04-23	

Leeds Federated

Scale 1 : 100 @ A3
 Date 24-02-23
 Drawn/Checked MRC / SH
 1425-42-AWSM-XX-ES-DR-A-219
 Status S2 Rev P1

Plots 1&2 G.A.
 plans &
 Elevations
 Owlcotes road, Pudsey



Studio 11, 220g, Charles Street, Leeds, LS1 6LQ. www.acanthuswsm.com 0113 259 3414. enquiries@acanthuswsm.com

Rev	Description	Date	Issued by
P1	Drawn and checked as per drawings for building work	04/04/23	



Roof Plan
1 : 100



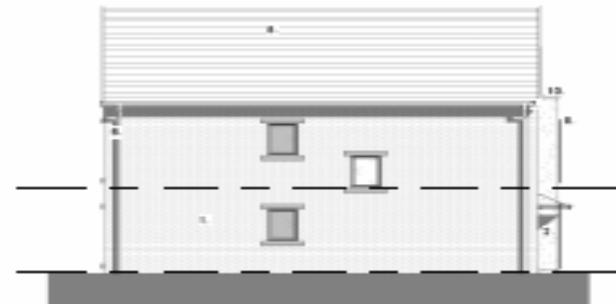
Front Elevation
1 : 100



Side Elevation
1 : 100



First Floor Plan [Plot 4 & 51]
1 : 100



Rear Elevation
1 : 100



Side Elevation
1 : 100



Ground Floor Plan [Plot 3 & 52]
1 : 100



Material Schedule

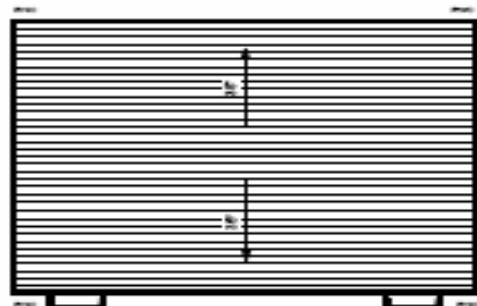
1	UPV Coated Steel Face Brick, White Thermal Mineral
2	200mm Water-impervious off-white through colored render
3	Autobond Grey (RAL 7035) UPVC Window Frames
4	200mm Thermal Composite Glass Unit with 16mm Argon Gas Fills and 20mm Spacers
5	Grey Trip-Up Carpeting
6	Black UPVC Down Pipes (include Potted and Stack Half-round Downpipes)
7	Black UPVC Fascias
8	Flashing (Steel Detail) Black TPO UPVC Soffit
9	Flashed metal cladding, Anthracite Grey (RAL 7016)
10	Pre-painted metal cladding, Colour to match roof tiles
11	Pre-painted yellow glass canopy with stainless steel fittings
12	Decorative Box
13	Decorative Metal Box
14	Decorative Concrete Slabbing
15	UPVC Cladding (UPVC cladding, Anthracite Grey and White) (RAL 7016 and RAL 9002) (RAL 9002)

Plots 3&4,
51&52 G.A.
plans &
Elevations
Owlcotes road, Pudsey

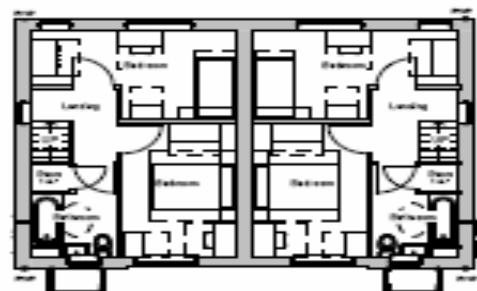
Scale 1:1, 210kg Charles Street, Leeds, LS2 9LJ www.aacanthus.com 0113 228 3414 enquiries@aacanthus.com

Leeds Federated	
Scale	1 : 100 @ A3
Date	24-02-23
Drawn/Checked	MSSC / JSH
1428-42-WSM-23-ES-DR-A-211	
Status	S2
Rev	P1





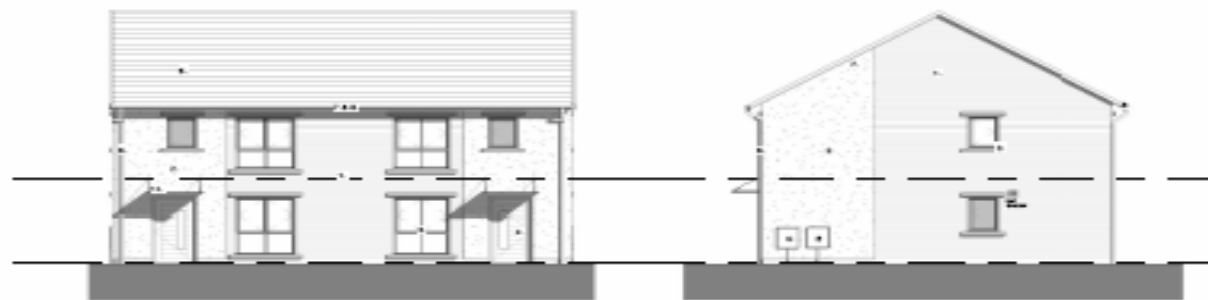
Roof Plan
1 : 100



First Floor Plan
1 : 100



Ground Floor Plan
1 : 100



Front Elevation
1 : 100

Side Elevation
1 : 100



Rear Elevation
1 : 100

Side Elevation
1 : 100

Material Schedule

1	Quality Red Faced Brick, with Natural Glaze
2	UPVC Window and external door
3	Black side Gutter (50x25) UPVC Window Frames
4	UPVC External Composite Door Colour to be confirmed. Lateral handles to match accessories.
5	Grey Flat Edge Interlocking Concrete Flag Tiles
6	Black UPVC Down Pipes (Inside Porches) and Black Rainwater Gutters
7	Black UPVC Porches
8	Black UPVC Front Door
9	Black UPVC Back Door
10	Black UPVC Porches
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97	Black UPVC Porches
98	Black UPVC Porches
99	Black UPVC Porches
100	Black UPVC Porches

Plots 43,44 & 53,54 G.A. plans & Elevations

Owlcotes road, Pudsey

Leeds Federated	
Scale	1 : 100 @ A3
Date	24-02-23
Drawn/Checked	MBSC / SH
1428-42-WWSM-2.0-ES-DR-A-231	
Stage	S2
Rev	P2



Studio 11, 210g Charles Street, Leeds, LS2 9LJ | www.aacanthus.com | 0113 2083414 | enquiries@aacanthus.com



Front Elevation
1 : 100



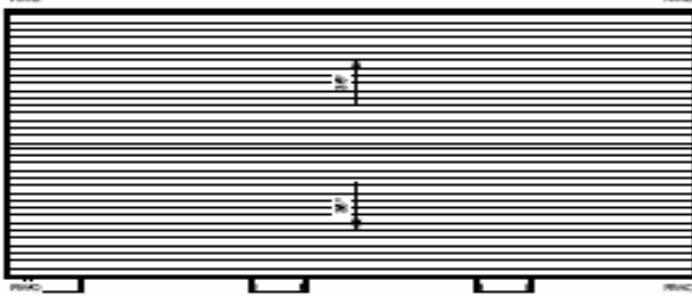
Rear Elevation
1 : 100



Side Elevation
1 : 100



Side Elevation
1 : 100



Roof Plan
1 : 100



First Floor Plan
1 : 100



Ground Floor
1 : 100

10. Acanthus WSM Architects Ltd
The general contractor is responsible for the verification of all dimensions on site and the inclusion in to the contract of any discrepancies. The status of information contained in a computer copy of this drawing shall be limited to that compiled by the print copy.

Revisions

Rev	Description	Date	Issued By
P1	Drawn and checked in accordance with the contract of the property.	03/04/20	WJG/CL

- Material Schedule**
- 1.1. Quality Roof Tiles with 100% Natural Slates
 2. 1200x1800mm approved 40mm thick reinforced concrete
 3. 1200x1800mm approved 40mm thick reinforced concrete
 4. 1200x1800mm approved 40mm thick reinforced concrete
 5. 1200x1800mm approved 40mm thick reinforced concrete
 6. 1200x1800mm approved 40mm thick reinforced concrete
 7. 1200x1800mm approved 40mm thick reinforced concrete
 8. 1200x1800mm approved 40mm thick reinforced concrete
 9. 1200x1800mm approved 40mm thick reinforced concrete
 10. 1200x1800mm approved 40mm thick reinforced concrete
 11. 1200x1800mm approved 40mm thick reinforced concrete



Scale	As indicated @A3
Date	24-03-20
Drawn/Checked	WJG/CL
1025-42-WSM-SX-ES-DR-A-219	
Scale	S2
Rev	P1



Plots 45-50
G.A. plans & Elevations
Owlcotes road, Pudsey

General Notes
All notes, headings, titles, and dimensions are shown in millimetres.

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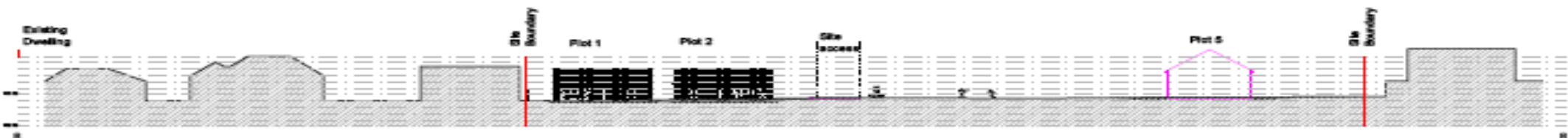
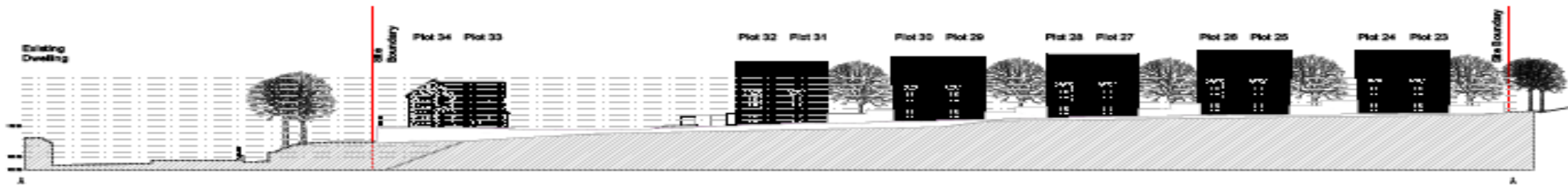








Construction Details
 The applicant has provided details for the proposed construction of the development.
 The details of construction are set out in the attached drawings.
 The details of construction are set out in the attached drawings.
 The details of construction are set out in the attached drawings.
 The details of construction are set out in the attached drawings.



**Proposed
 Site Sections**
 Owicotes Road
 Pudsey

Leeds & Federated

Project Name	
Client	
Address	
Site No.	
Scale	1:200 @ A1
Date	Feb 2021
Author	WSP/AM
Check	WSP/AM
Drawn	WSP/AM

**Acoustic
 WSM
 Architects**

APPLICATION: 22/07648/FU

**PROPOSAL: Erection of a 120 capacity
Wedding Venue, 40 Holiday Lodges, and a
Cafe/Community Hub building**

**ADDRESS: Fleet Lane
Oulton
Leeds
LS26**













East



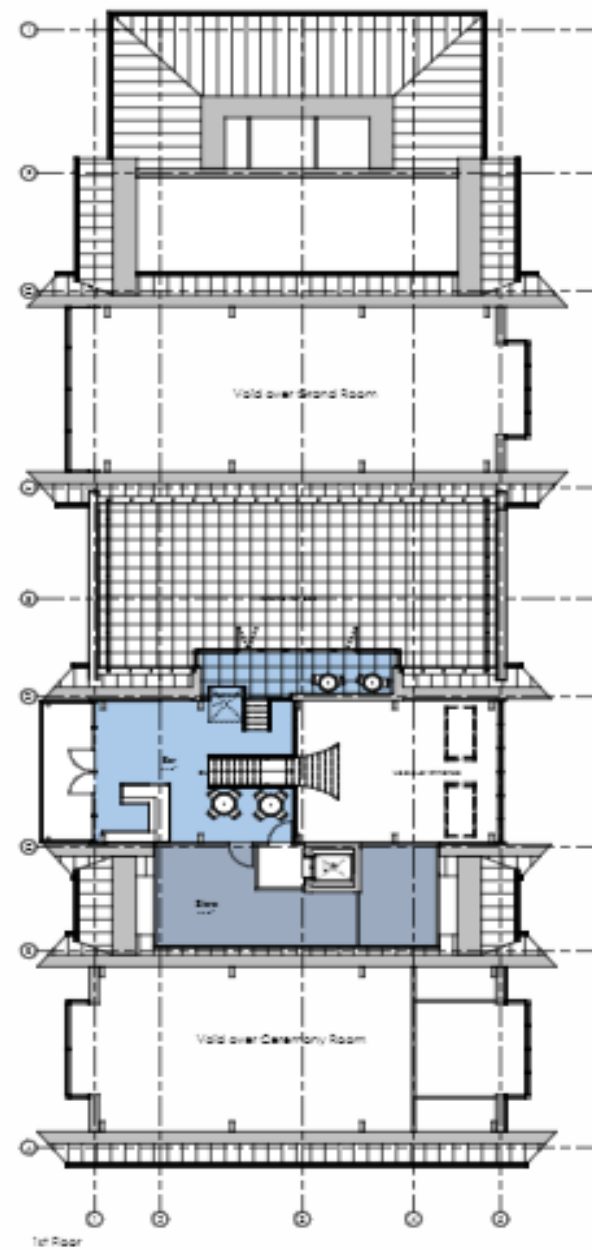
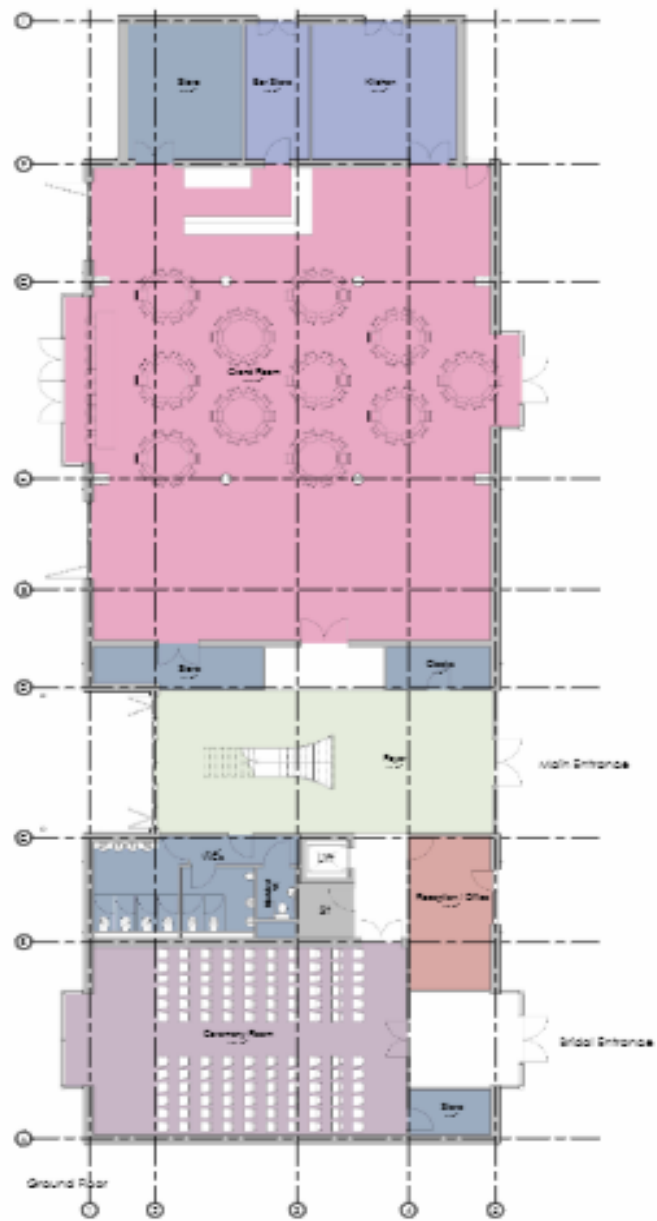
South



North



West







3D View 1







North



East



South



West

Materials Schedule

- ① Stone to approved sample
- ② Sedum Roof
- ③ Cedar Eaves / Soffit
- ④ Double Glazed Window to approved sample
- ⑤ Cedar Cement Cladding to approved sample
- ⑥ Double Glazed Door to approved sample
- ⑦ Black UPVC Rainwater Goods
- ⑧ Glass Balustrade
- ⑨ Double Glazed Door to approved sample



0 Ground Floor



3D View 1



North



East



South



West

Materials Schedule

- | | |
|--|---|
| ① Stone to approved sample | ⑥ Double Glazed Door to approved sample |
| ② Sedum Roof | ⑦ Black UPVC Rainwater Goods |
| ③ Cedar Eaves / Soffit | ⑧ Glass Balustrade |
| ④ Double Glazed Window to approved sample | ⑨ Double Glazed Door to approved sample |
| ⑤ Cedar Cement Cladding to approved sample | |





North



South



East



West

Materials Schedule

- ① Stone to approved sample
- ② Sedum Roof
- ③ Cedar Eaves / Soffit
- ④ Double Glazed Window to approved sample
- ⑤ Cedar Cement Cladding to approved sample
- ⑥ Double Glazed Door to approved sample
- ⑦ Black UPVC Rainwater Goods
- ⑧ Glass Balustrade
- ⑨ Double Glazed Door to approved sample



0 Ground Floor



3D View 1



North



South



East

0 Ground Floor
0



West

Materials Schedule

- ① Stone to approved sample
- ② Sedum Roof
- ③ Cedar Baves / Soffit
- ④ Double Glazed Window to approved sample
- ⑤ Cedar Cement Cladding to approved sample
- ⑥ Double Glazed Door to approved sample
- ⑦ Black UPVC Rainwater Goods
- ⑧ Glass Balustrade
- ⑨ Double Glazed Door to approved sample



02.15.15

02.15.15



North



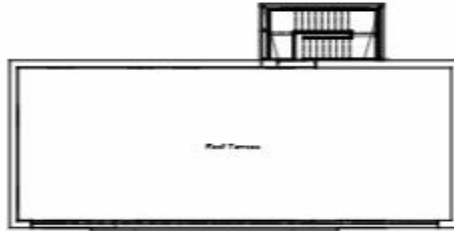
South



East



West



⑥ 1 Roof Terrace
1:100



⑤ 0 Ground Floor
1:100



3D View 1





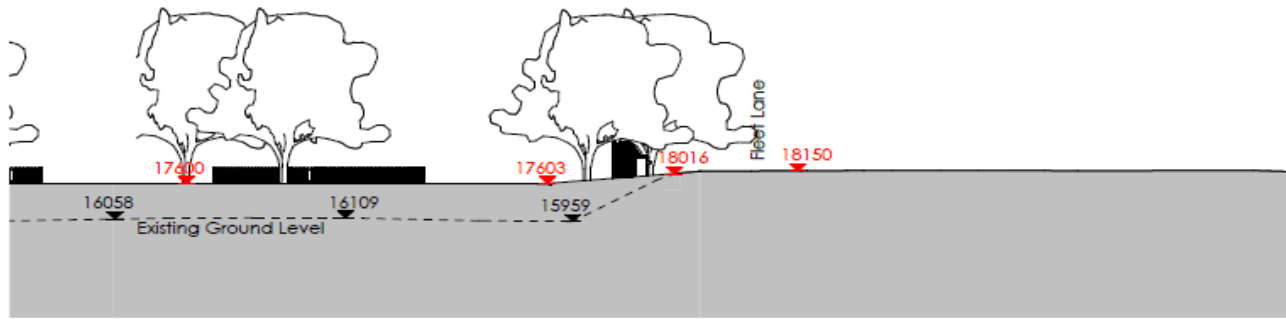
Section U-U



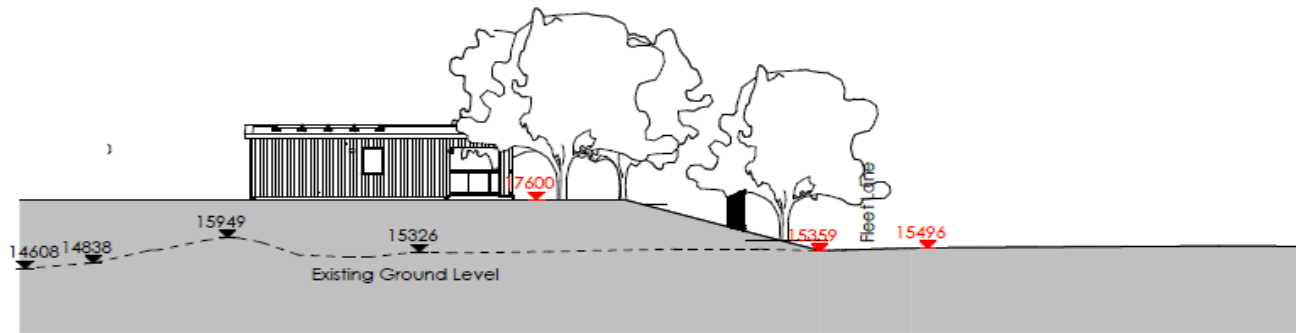
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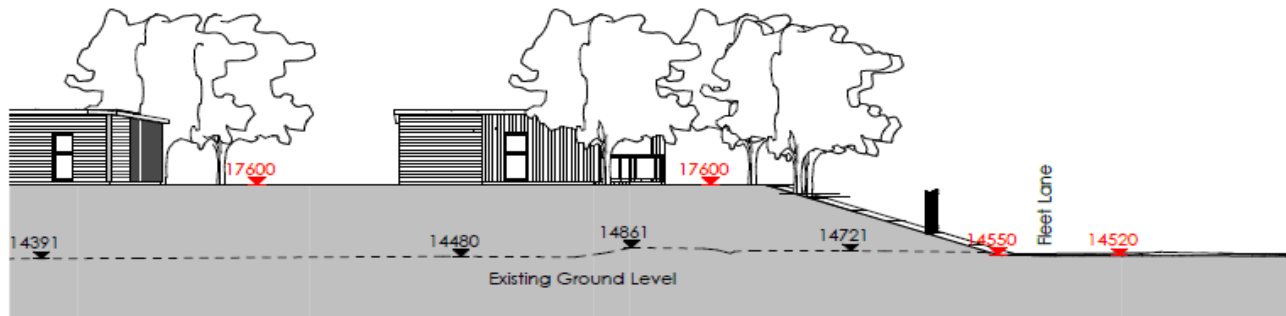
Section S-S



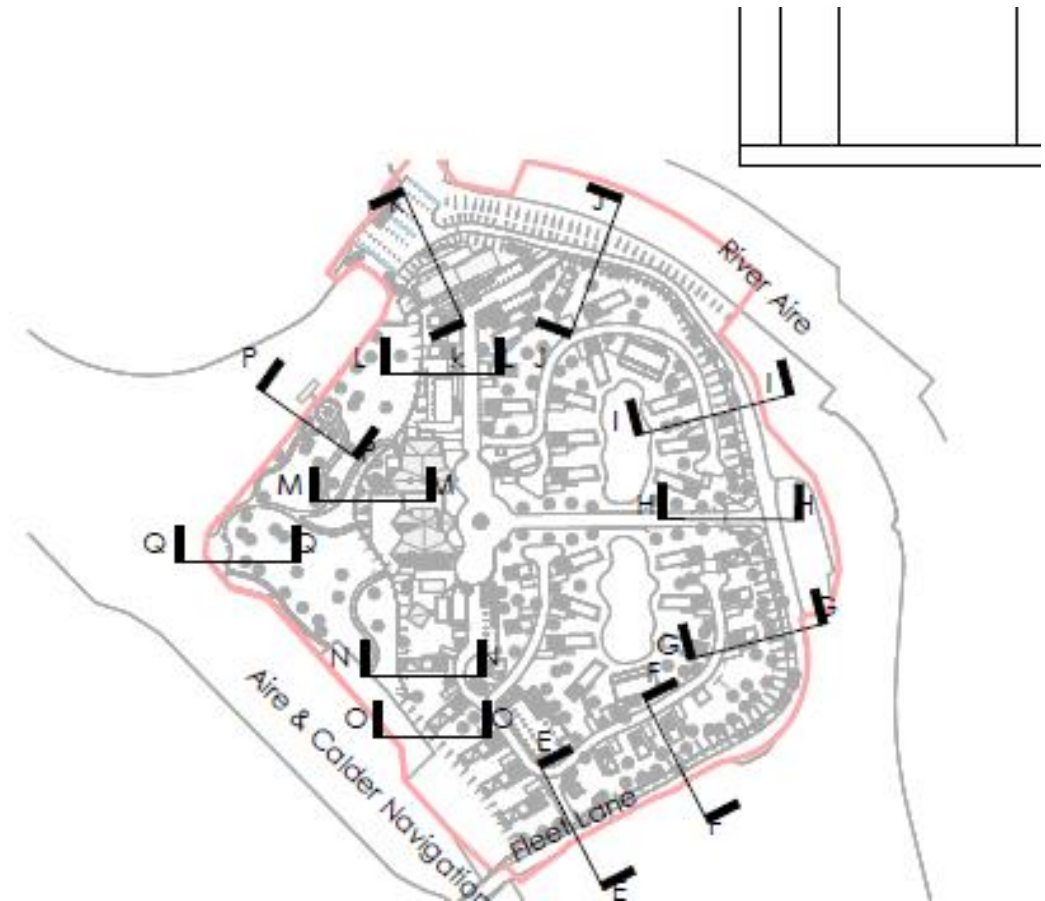
Section E-E

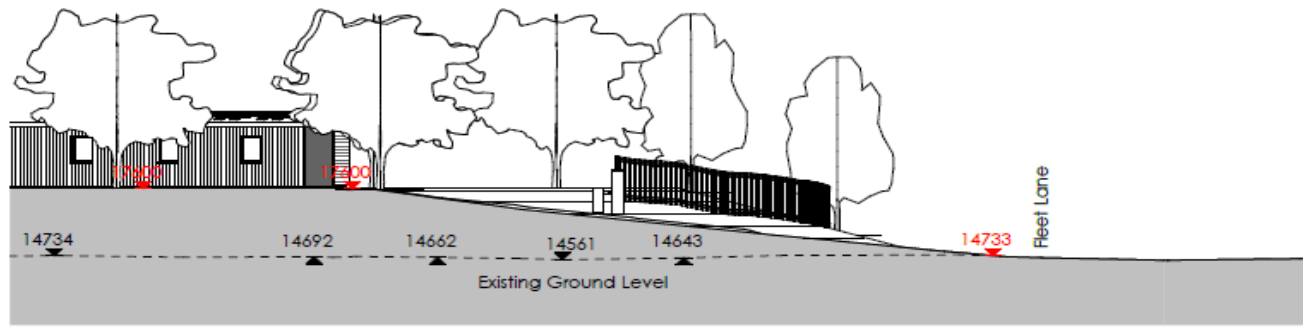


Section F-F

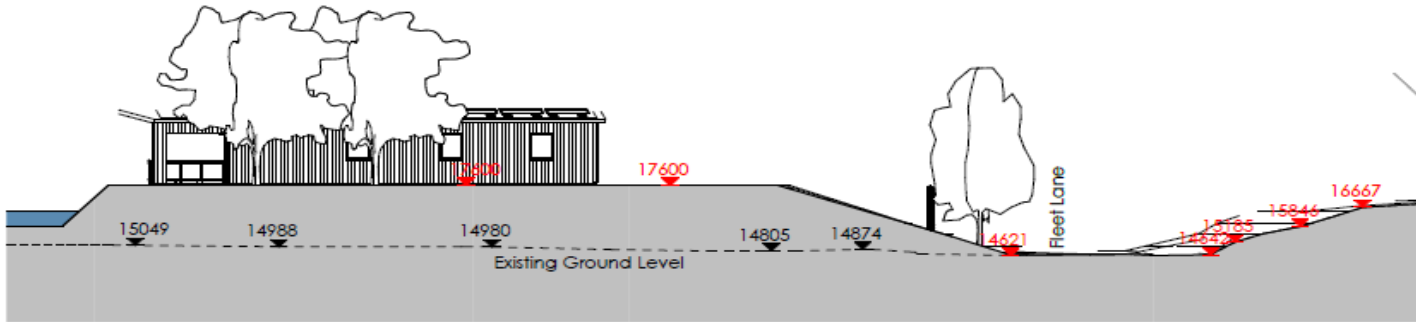


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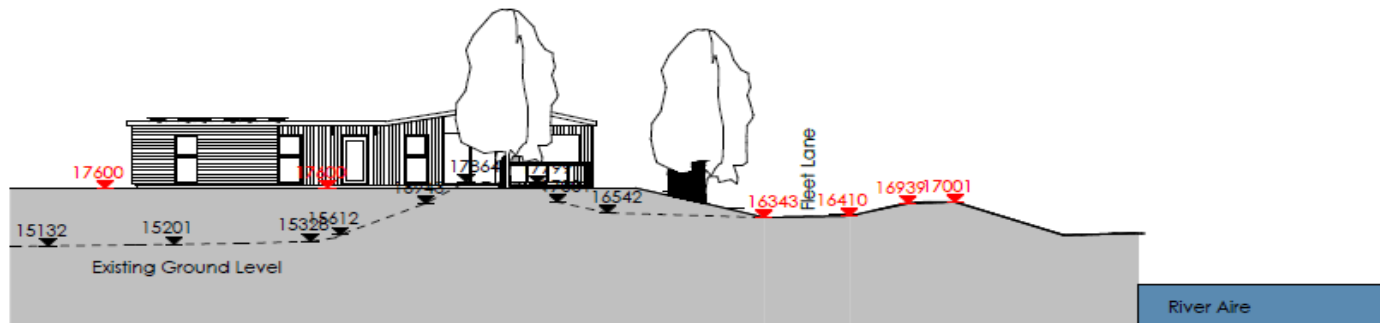




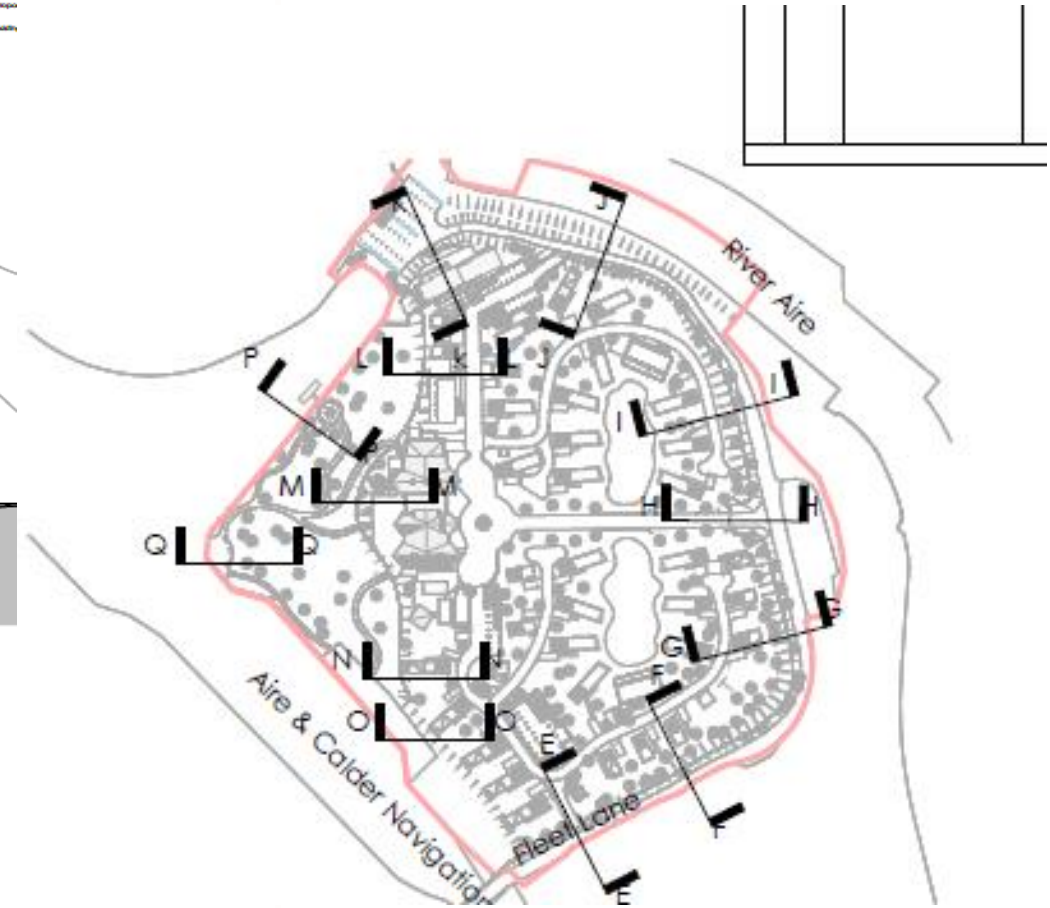
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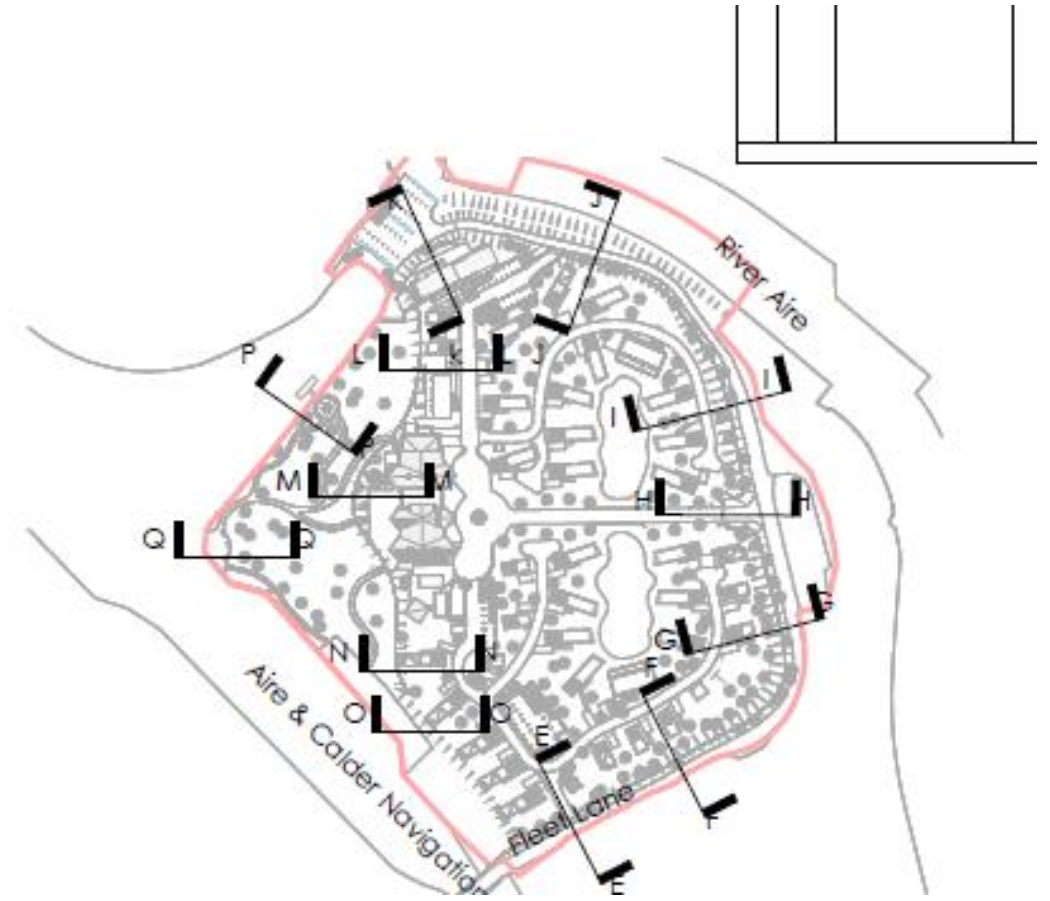
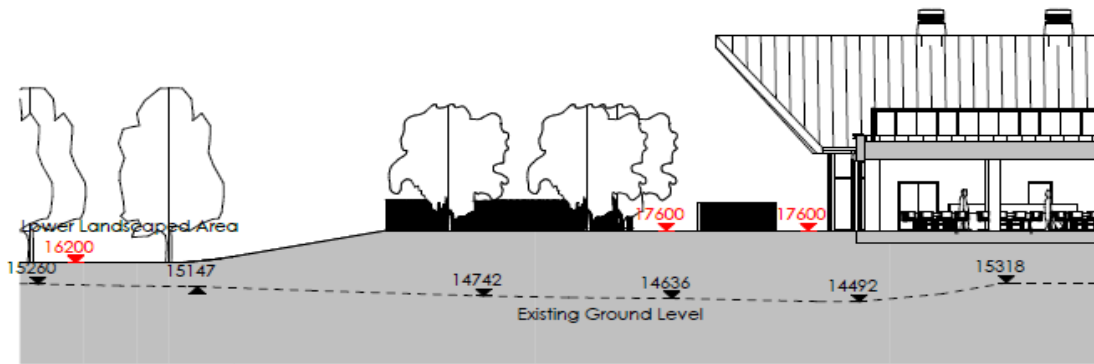
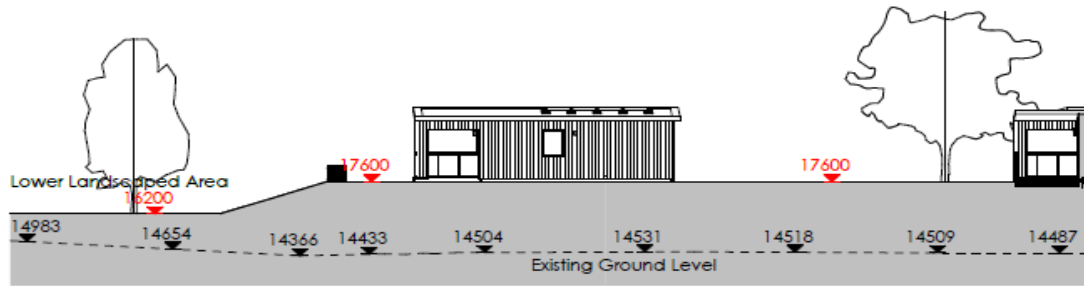
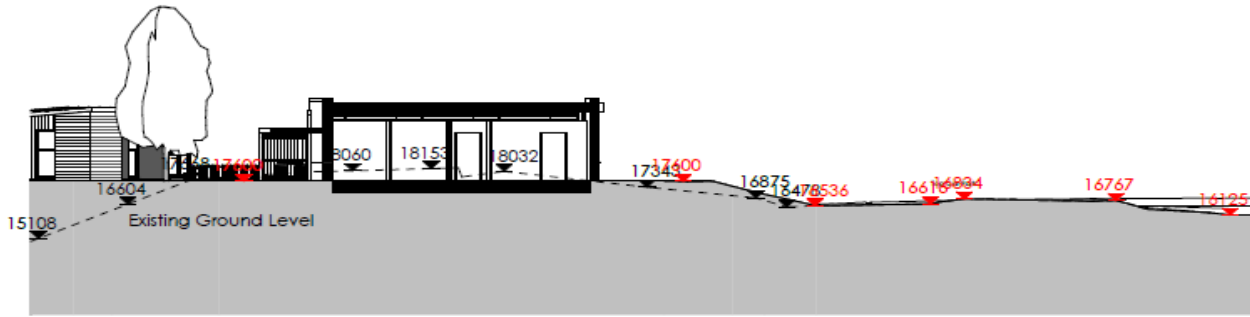


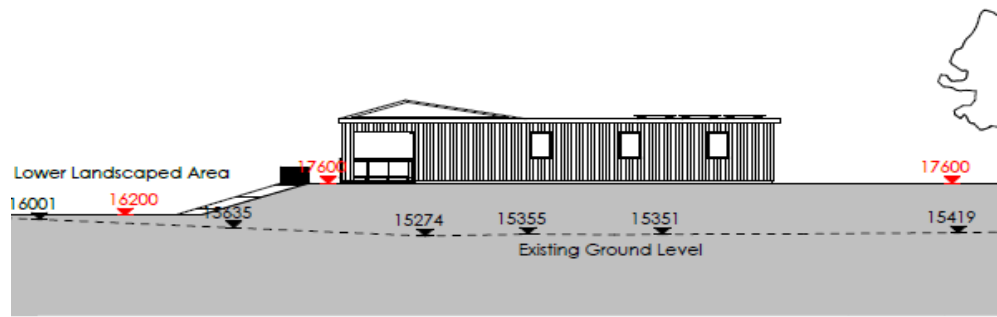
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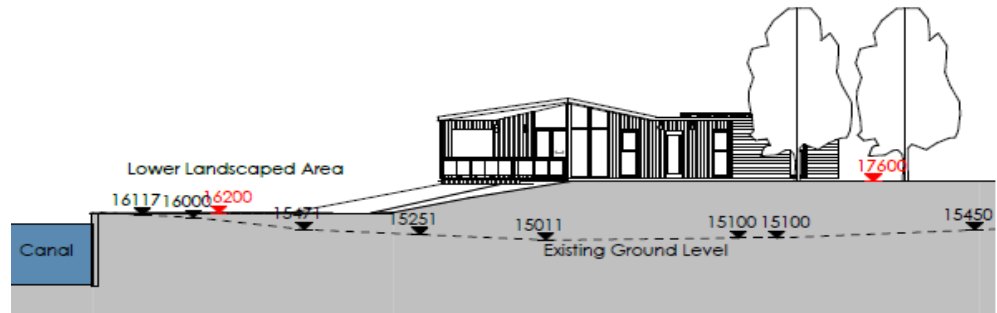
Section J-J



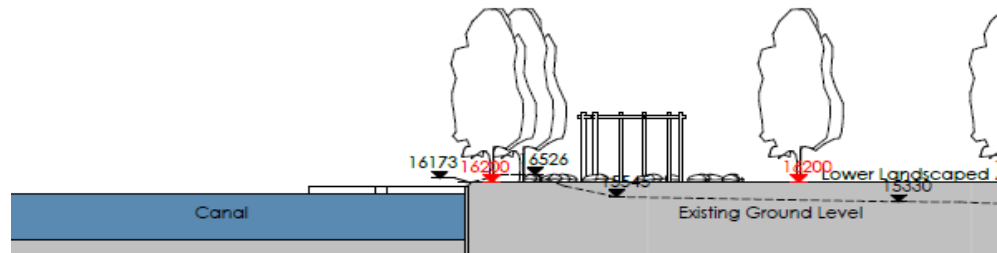




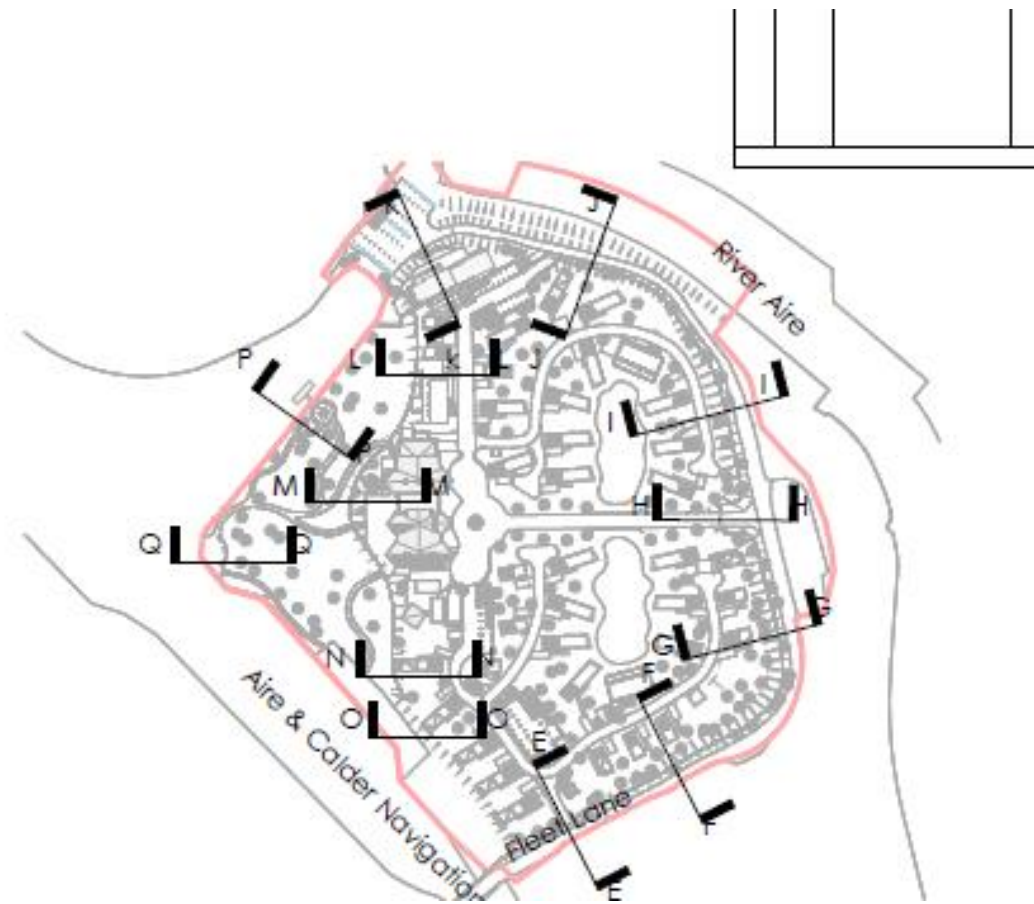
Section NN



Section OO



Section PP









SOUTH & WEST PLANS PANEL

THURSDAY 28th September 2023

END OF PRESENTATION

